

# **Alpha & Omega Home Inspections, LLC**

*"A wise man builds his house upon the Rock" Mat. 7:24*

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**SC License #: 1736 / NC License #: 2240 / International Code Council Certified**

## **Confidential Inspection Report**

Prepared For: Anita Harecutt

**Property Address:** 3611 Apple Way Indian Land, SC 29707



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The World's Elite Inspectors

**National Association of  
Certified Home Inspectors**



*Joe Hunderbuck*



<b>Date:</b> 12/7/2011	<b>Time:</b> 03:50 PM	<b>Report ID:</b> Sample Pre-drywall 2
<b>Property:</b> 3611 Apple Way Indian Land SC 29707	<b>Customer:</b> Anita Harecutt	<b>Real Estate Professional:</b>

Any locations given, such as "left front", are oriented as if looking at the house from the front yard.

**This is an actual report for a real client performed on a house under construction in 2012. All identifying information has been removed. This is not the full report! Some of the informational items have been excluded for the sake of making the report smaller while trying to give you a 'big picture' overview. This report is the exclusive property of Alpha & Omega Home Inspections, LLC and may not be copied or reproduced in any manner without our written consent.**

## 1. Building Stage & Inspection Methods

Inspection comments depend upon when the inspector first arrived and where the progress was at that time.

### Inspection Items

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#### 1.0 STAGE OF COMPLETION

##### Comments:

The home has been roughed in with a OSB and a weather resistant barrier (house wrap). The roof shingles were mostly installed. Some exterior stone veneer and vinyl has been installed. Plumbing pipes, mechanical systems, and electrical wiring was roughed in.

#### 1.1 WERE BLUEPRINTS REVIEWED FOR THIS PHASE OF INSPECTION

##### Comments:

Construction documents (blue prints) were not used viewed during this inspection. We did not refer to any documents to determine whether the building meets zoning setbacks. We did not refer to any documents to determine whether the framing, plumbing, electrical, etc. was installed according to design.

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This Guideline is intended to help the customer understand the limitations of this inspection. The time spent inspecting the progress of the construction limits the inspector to a visual inspection for workmanlike practices. It does not determine the conformity to the blueprints in regards to dimensions and locations. It cannot prevent shortcuts by sub-contractors that could occur in between inspections and in the absence of the builder. The inspector does not determine whether or not agreed selections of fixtures or materials were used.

## 2. Foundation/Slab and Rough Framing

### Styles & Materials

**Foundation Type:**

Concrete Slab

**Floor Structure:**

Concrete slab that may include reinforcing steel  
Engineered "I" floor joists

**Wall Structure:**

Wood studs

**Ceiling Structure:**

Prefabricated truss/joist system

**Roof Structure:**

Engineered wood trusses  
OSB sheathing

**Roof-Type:**

Gable

**Method used to observe attic:**

From the 2nd floor

### Inspection Items

#### 2.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES AND DRAINAGE

**Comments:** Repair or Replace



The sill plates were not anchored according to today's commonly accepted construction standards at the garage. Foundations are required to be anchored to the sill plate (base of the outer walls) within 12 inches of the end of each plate and spaced no further than 6 feet apart. The worst case consequence of poorly anchored foundations is movement of the house off the foundation, due to high winds, flood waters, or earth quakes. Repair by a licensed contractor is recommended.



#### 2.1 SLAB SURFACE AND WORKMANSHIP

**Comments:** Inspected

#### 2.2 WALLS (Structural)

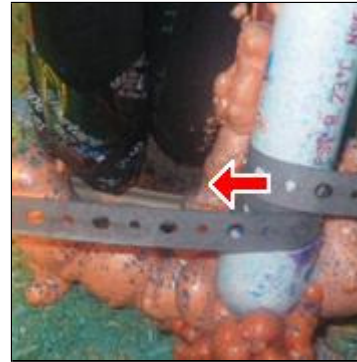
**Comments:** Repair or Replace



(1) A load bearing wall near the fireplace appears to have been excessively drilled. Today's standards prevent drilling of load bearing walls in excess of 40% of the stud depth. Drilling of more than two doubled studs is prohibited. We recommend a thorough evaluation by a structural engineer and repair compliant with the 2006 International Residential Code. See IRC R602.6.



- 🏠 (2) A wall opening at the HVAC line set should be thoroughly sealed to prevent moisture and rodent intrusion.



- 🏠 (3) A wall opening at the recreation room should be thoroughly sealed to prevent moisture intrusion.



### 2.3 COLUMNS OR PIERS

Comments: Inspected

### 2.4 FLOORS (Structural)

Comments: Inspected

### 2.5 CEILINGS (structural)

Comments: Inspected

### 2.6 ROOF STRUCTURE AND ATTIC

Comments: Repair or Replace

- 🏠 (1) No apparent attic access was provided to the attic above the left rear and left right of the home (1st level). Today's commonly accepted construction standards require an attic access opening for attic spaces with combustible building construction materials where the area is in excess of 30 sq. ft. and the height of the attic is 30 inches or more. The opening should be a minimum of 22 x 30 inches.



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### 3. Roofing



#### Styles & Materials

**Roof Covering:**  
Architectural

**Viewed roof covering from:**  
Ground  
Walked roof

#### Inspection Items

##### 3.0 ROOF COVERINGS

**Comments:** Repair or Replace



(1) A broken, damaged or torn shingle exists at the right rear of the home.



(2) A nail head needs sealant at the right rear roof.



##### 3.1 FLASHINGS

**Comments:** Repair or Replace



Kickout flashing may be necessary but was not observed at roof to wall transition(s) to divert water away from the wall system and back onto the roof or gutter. Failure to properly manage water flow at these critical transitions may lead to water entry into the wall system, which will cause serious structural damage. An evaluation and repair as deemed necessary by a competent roofing contractor is recommended. A reference document can be viewed [on our website](#).



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g a e a  
Pre-cast stone  
Vinyl

#### o e Repair or Replace

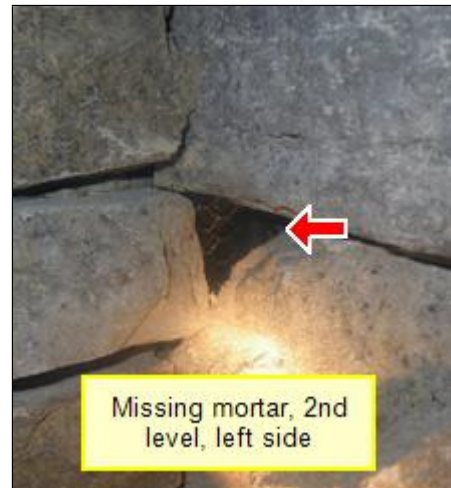
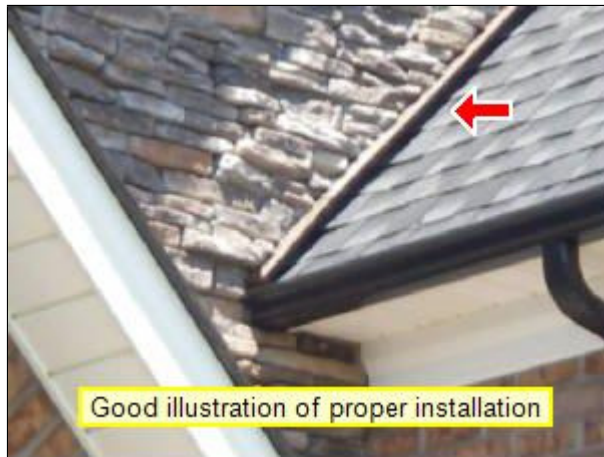


(1) Manufactured stone veneer has been installed on the front of this house. An inspection of the visible components has revealed that the stone veneer has not been installed in compliance with installation guidelines provided by the Masonry Veneer Manufacturer's Association (MVMA). A PDF copy of the installation guidelines is available [on our website](#). The stone manufacturer (Quality Stone Veneer, Inc.) recommends installation according to the guidelines at MVMA. Other resources about this type of siding are available [on our website](#).

Specific problems noted with the visible components include, but may not be limited to: The masonry veneer is in contact with roofing materials. Metal lath is visible between stones, indicating that the proper base coats of mortar were not applied prior to installation of the stone. There is no caulk between other materials and the masonry veneer at windows, doors, and adjacent trim.

The lack of proper detailing and flashing may result in water penetration behind the siding, resulting in structural damage. The installation of the manufactured stone veneer should be evaluated, compared to the specific installation requirements of the stone manufacturer and the MVMA, and repaired or replaced as deemed necessary by a licensed general contractor or masonry contractor experienced with installation requirements for manufactured stone veneer.

Please note that because the water resistive barrier, metal lath, and base coat(s) of cement stucco are completely concealed behind the manufactured stone veneer, they cannot be evaluated by a visual inspection.



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1  
o e Not Inspected

2  
o e Repair or Replace



The windows were not installed according to commonly accepted standards and manufacturer installation instructions. Every window manufacturer whose instructions we have viewed requires a gap, typically 1/8", between the window and a stucco veneer (pre-cast stone falls under the stucco installation standards). The gap should be filled with a backer rod and sealant to prevent moisture intrusion. If the gap is not provided, the expansion of the masonry wall during warm weather may cause the window to bind. In the worst case, the window frame may crack and moisture could drain into the wall cavity instead of out the window weeps. We recommend that the windows be installed according to the manufacturer's instructions.

**2009 IRC R612.1 General.** This section prescribes performance and construction requirements for exterior windows and doors installed in walls. Windows and doors shall be installed and flashed in accordance with the manufacturer's written installation instructions. Window and door openings shall be flashed in accordance with Section R703.8. Written installation instructions shall be provided by the manufacturer for each window or door.



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The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 5. Interiors



### Inspection Items

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#### 5.0 CEILINGS

**Comments:** Repair or Replace



A fire barrier in a closet chase (2nd level bathroom) was not thoroughly sealed to prevent the spread of flames into the attic space.



#### 5.1 WALLS

**Comments:** Inspected

#### 5.2 FLOORS

**Comments:** Inspected

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The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 6. Plumbing System



### Inspection Items

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#### 6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected

#### 6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected

#### 6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Not Inspected

#### 6.3 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Not Inspected

#### 6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

#### 6.5 MAIN FUEL SHUT OFF (Describe Location)

Comments: Not Inspected

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The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



## 7. Electrical System



### Styles & Materials

#### Electrical Service Conductors:

Below ground

#### Panel Type:

Circuit breakers

#### Branch wire 15 and 20 AMP:

Copper

#### Wiring Methods:

Romex

### Inspection Items

#### 7.0 SERVICE ENTRANCE CONDUCTORS


**Comments:** Inspected

#### 7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

**Comments:**Not Inspected

#### 7.2 BRANCH CIRCUIT CONDUCTORS


**Comments:** Repair or Replace

-  Strike plates were not installed to protect wiring in the dining room less than 1.25" from the edge of the wall stud.

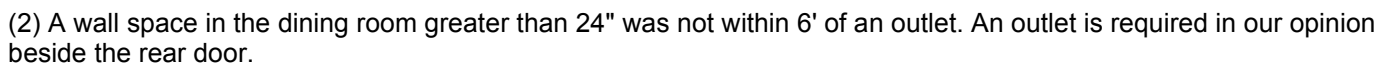


#### 7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)

**Comments:**Repair or Replace

-  (1) The electrical outlet configuration at the kitchen counter-top(s) may or may not meet today's commonly accepted standards and you may wish to have an electrician add more outlets. Please review the plans for the kitchen countertops. Outlets should be installed at every counter space greater than 12 inches wide. No point along the countertop between outlets should be wider than 24 inches.

**E3801.4 Countertop receptacles.** In kitchens and dining rooms of dwelling units, receptacle outlets for counter spaces shall be installed in accordance with Sections E3801.4.1 through E3801.4.5 (see Figure E3801.4).



## 7.5 SMOKE DETECTORS

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 8. Insulation and Ventilation



### Styles & Materials


**Ventilation:**  
Ridge vents  
Soffit Vents

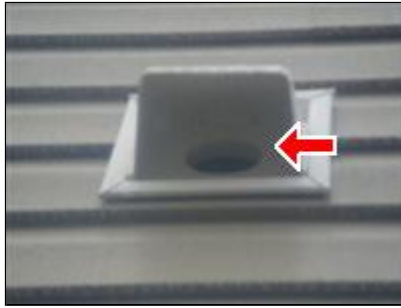
**Permanent Dryer Vent:**  
Rigid Metal


### Inspection Items

#### 8.0 VENTING SYSTEMS (Kitchens, baths and laundry)

**Comments:** Repair or Replace

-  (1) Bathroom exhaust fan ducts were missing back-draft dampers at the exterior.



-  (2) Tape is loose at the downstairs bathroom exhaust duct at its connection to the fan. Tape and a tie wrap is recommended to prevent the duct from becoming disconnected in the ceiling and causing moisture problems.

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



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## General Summary

### Customer

Anita Harecutt

### Address

3611 Apple Way  
Indian Land SC 29707

The following items or discoveries indicate that these systems or components do not function as intended or adversely affects the habitability of the dwelling; or appear to warrant further investigation by a specialist, or requires subsequent observation. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function, efficiency, or safety of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

## 2. Foundation/Slab and Rough Framing

### 2.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES AND DRAINAGE

#### Repair or Replace



The sill plates were not anchored according to today's commonly accepted construction standards at the garage. Foundations are required to be anchored to the sill plate (base of the outer walls) within 12 inches of the end of each plate and spaced no further than 6 feet apart. The worst case consequence of poorly anchored foundations is movement of the house off the foundation, due to high winds, flood waters, or earth quakes. Repair by a licensed contractor is recommended.

### 2.2 WALLS (Structural)

#### Repair or Replace



(1) A load bearing wall near the fireplace appears to have been excessively drilled. Today's standards prevent drilling of load bearing walls in excess of 40% of the stud depth. Drilling of more than two doubled studs is prohibited. We recommend a thorough evaluation by a structural engineer and repair compliant with the 2006 International Residential Code. See IRC R602.6.



(2) A wall opening at the HVAC line set should be thoroughly sealed to prevent moisture and rodent intrusion.



(3) A wall opening at the recreation room should be thoroughly sealed to prevent moisture intrusion.

### 2.6 ROOF STRUCTURE AND ATTIC

## 2. Foundation/Slab and Rough Framing

### Repair or Replace



1 No apparent attic access was provided to the attic above the left rear and left right of the home 1st level . Today s commonly accepted construction standards require an attic access opening for attic spaces with combustible building construction materials where the area is in excess of 30 s . ft. and the height of the attic is 30 inches or more. The opening should be a minimum of 22 30 inches.



2 Framing hardware in the front center bedroom did not have all nailing holes filled properly. We recommend filling nail holes in the hardware according to the manufacturer s specifications.



3 Framing hardware in the family room did not have all nailing holes properly filled. We recommend filling nail holes in the hardware according to the manufacturer s specifications.

## 3. Roofing



### 3.0 ROOF CO RINGS

#### Repair or Replace



1 A broken, damaged or torn shingle exists at the right rear of the home.



2 A nail head needs sealant at the right rear roof.

### 3.1 FLASHINGS

#### Repair or Replace



ic out flashing may be necessary but was not observed at roof to wall transition s to divert water away from the wall system and back onto the roof or gutter. Failure to properly manage water flow at these critical transitions may lead to water entry into the wall system, which will cause serious structural damage. An evaluation and repair as deemed necessary by a competent roofing contractor is recommended. A reference document can be viewed [on our website](#).

## 4. Exterior



### 4.0 ALL CLADDING FLASHING AND TRIM

#### Repair or Replace



1 Manufactured stone veneer has been installed on the front of this house. An inspection of the visible components has revealed that the stone veneer has not been installed in compliance with installation guidelines provided by the Masonry Veneer Manufacturer s Association (MMA). A PDF copy of the installation guidelines is available [on our website](#). The stone manufacturer Quality Stone Veneer, Inc. recommends installation according to the guidelines at MMA. Other resources about this type of siding are available [on our website](#).

Specific problems noted with the visible components include, but may not be limited to: The masonry veneer is in contact with roofing materials. Metal lath is visible between stones, indicating that the proper base coats of mortar were not applied prior to installation of the stone. There is no caul between other materials and the masonry veneer at windows, doors, and adjacent trim.

The lack of proper detailing and flashing may result in water penetration behind the siding, resulting in structural damage. The installation of the manufactured stone veneer should be evaluated, compared to the specific installation requirements of the stone manufacturer and the MMA, and repaired or replaced as deemed necessary by a licensed general contractor or masonry contractor experienced with installation requirements for manufactured stone veneer.

Please note that because the water resistive barrier, metal lath, and base coats of cement stucco are completely concealed behind the manufactured stone veneer, they cannot be evaluated by a visual inspection.



2 Installation of the required weather resistant barrier house wrap was incomplete.

### 4.2 INS

#### Repair or Replace



The windows were not installed according to commonly accepted standards and manufacturer installation instructions. Every window manufacturer whose instructions we have viewed requires a gap, typically 1/8", between the window and a stucco veneer pre cast stone falls under the stucco installation standards. The gap should be filled with a backer rod and sealant to prevent moisture intrusion. If the gap is not provided, the expansion of the masonry wall during warm weather may cause the window to bind. In the worst case, the window frame may crack and moisture could drain into the wall cavity instead of out the window weeps. We recommend that the windows be installed according to the manufacturer's instructions.

2.12.1 e e a This section describes performance and construction requirements of exterior doors and doors installed in walls. Windows and doors shall be installed and lashed in accordance with the manufacturer's written installation instructions. Windows and door openings shall be lashed in accordance with Section R 0. . Written installation instructions shall be provided to the manufacturer of each window or door.



A fire barrier in a closet chase 2nd level bathroom was not thoroughly sealed to prevent the spread of flames into the attic space.



Strike plates were not installed to protect wiring in the dining room less than 1.2" from the edge of the wall stud.

7.2.1 e e f o a e e e a e e o e a o of e g  
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1 The electrical outlet configuration at the kitchen counter tops may or may not meet today's commonly accepted standards and you may wish to have an electrician add more outlets. Please review the plans for the kitchen countertops. Outlets should be installed at every counter space greater than 12 inches wide. No point along the countertop between outlets should be wider than 2 inches.



2 A wall space in the dining room greater than 2' was not within 1' of an outlet. An outlet is required in our opinion beside the rear door.



1 Bathroom exhaust fan ducts were missing back draft dampers at the exterior.



2 Tape is loose at the downstairs bathroom exhaust duct at its connection to the fan. Tape and a tie wrap is recommended to prevent the duct from becoming disconnected in the ceiling and causing moisture problems.



of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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