

# Alpha & Omega Home Inspections, LLC

"A wise man builds his house upon the Rock."

SC license: RBI. 1736

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# Sample Report

## Buyer

Joe and Betty Homebuyer

## Agent

Sue Sellar

## Inspected Property

104 Blue Ridge Dr.  
Anytown, SC

## Property Photograph



## Inspection Date

06/08/05

## Weather:

Clear

## Temperature:

87 F

## Report ID:

060805-01

## Inspector:

Joe Funderburk

**PART A - GROUNDS**

- A-01 Lot Grading / Drainage
- A-02 Driveway
- A-03 Walkways
- A-04 Retaining Walls

**PART B - EXTERIOR**

- B-01 Soffits / Fascia / Eaves
- B-02 Gutters & Downspouts
- B-03 Windows – Exterior
- B-04 Steps, Porches, & Decks
- B-05 Exterior Walls
- B-06 Roof – Exterior
- B-07 Doors – Exterior
- B-08 Garage / Carport
- B-09 Plumbing – Exterior

**PART C – ELECTRICAL**

- C-01 Electrical – Exterior
- C-02 Electrical Interior

**PART D - INTERIOR**

- D-01 Doors & Windows
- D-02 Floors, Walls, & Ceilings
- D-03 Built-in Appliances

**PART E - PLUMBING**

- E-01 Interior Plumbing

**PART F - STRUCTURAL**

- F-01 Interior Walls
- F-02 Fireplace
- F-03 Foundation
- F-04 Attic

**PART G - HVAC**

- G-01 Heating & Air Conditioning

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The following items or discoveries indicate that these systems or components do not function as intended, adversely affects the habitability of the dwelling, or appear to warrant further investigation by a qualified professional. Some of the lesser issues or discoveries noted are not included in the summary—reading the entire report is recommended. This inspection service reserves the right to amend the inspection report within 24 hours of completion. All repairs should be performed by a qualified professional.

**PART B – EXTERIOR**

**B-02**

Gutters contained debris at front and rear.

**B-03**

Most window frames had paint cracking and peeling. See below.



Several windows in need of caulk/putty at frames and glazing. See photos below.



## B-05

Putty was applied to brick mortar at a 5' section above air conditioner. Inspector did not peel back putty to inspect for a crack beneath. Unusual place for putty application. Recommend that buyer inquire as to the reason for this material on the brick wall.



## B-07

1' section of door frame at rear door showed decay at bottom on both sides.



## PART C - ELECTRICAL

### C-01

Today's standards call for the service entrance wires to be a minimum of 10 feet above walking surfaces. This service cable was 8'6" at the drip loop. Recommend that the electric utility be contacted to approve clearances of service entrance cables or make corrections.

### C-02

- 3 prong receptacle in garage is ungrounded. Although ungrounded receptacles were normal when the house was constructed, a 3 prong receptacle may give someone the false impression that connected equipment was grounded. Recommend grounding this receptacle or switching to the 2 prong type (the rest of the house was of the 2 prong type).
- Receptacle at right of kitchen sink had reversed polarity.
- Hall bathroom had no receptacle, as is required by today's standards.
- No GFCI protection was provided for receptacles at kitchen counters, garages, bathrooms. Although not required when the house was built, today's standards require them and they are recommended as they are a life-saving device around water.

## PART E – PLUMBING

### E-01

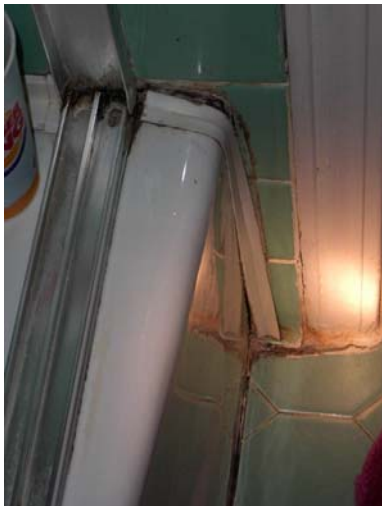
Gas water heater vent touched combustible material (ceiling). Recommend 1" clearance from combustible materials. Ceiling is also apparently water stained at this area, but could not determine if an active leak exists.



Wall is decayed behind sheetrock at washing machine hookup.



- Bathtub has an unusual water sealer method (rubber-type flexible material). It was loose at tub exterior (see 2 photos below). It is doubtful that this material is water-tight (see Part F in Summary).
- Grout is needed where tub meets floor tile to prevent water from getting to wood beneath.



Caulk at tub exterior/rear appears to be ineffective.



Both toilets were loose. Unsecured toilets will cause wax seal beneath to leak and may damage floor.

## **PART F – STRUCTURAL**

### **F-03**

Roof sheathing was water damaged around chimney. Moisture meter detected a higher level of moisture (12%) than surrounding wood (~8%). Chimney flashing or shingles around chimney may be leaking. Chimney, from roof, was noted to be flashed, but not counter flashed. This is common, but not the best installation. Recommend that area be further investigated during/after a period of heavy rain. If leaks exist, recommend a qualified roofer be consulted to make repairs.



A large area of roof sheathing was noticeably different in tint (darker colored) at rear of house which may indicate moisture intrusion. Area was toward kitchen. Moisture meter did not detect a higher than normal moisture content, but buyer may want to further investigate this area after a period of heavy rain (roof shingles above this area were also different in tint—lighter colored).



#### F-04

Floor structures under bathroom showed signs of water damage, some decay, and repairs that involved the addition of floor supports (see photo below). Also, repairs involving the addition of floor supports are incorrect, as the concrete blocks are turned in the wrong direction (load supporting side is with holes vertical).



Apparently water leaks still occur, as floor structure was noted to have moisture levels of 50%; a much higher level than surrounding structures (see photo below).



Inspector was unable to access and inspect areas under kitchen and laundry rooms due to low clearances. Untreated wood floor joists in these areas are estimated to be less than 12 inches above ground. Note: today's standards require that untreated wood floor joists be a minimum of 18 inches above ground.



End of Summary

## Inspection Checklist

**LOT GRADING / DRAINAGE****A-01**

Grade slopes toward the house at:

☐ Front☐ Rear☐ Left Side☒ Right Side**DESCRIPTION****Y****N****N/A****See Note No:**

1. Is the site free of visible soil erosion problems in the areas of yard against the foundation?

X

Note: The inspection does not include geological, soil conditions or underground items. Drainage around the house foundation is observed visually only to see if it appears that water will be carried away from or around the house.

Comments:

**DRIVEWAY****A-02**☒ Concrete☐ Stone / Pavers☐ Brick☐ Asphalt☐ Gravel☐ Other**DESCRIPTION****Y****N****N/A****See Note No:**

1. Is the surface free of major cracking other than normal shrinkage cracks?

X

2. Is the surface free of abnormal deterioration?

X

3. Does the driveway appear to slope away from the garage where it meets the door?

X

Comments:

**WALKWAYS****A-03**☒ Concrete☐ Brick☐ Other \_\_\_\_\_☐ Pavers☐ Tile☐ None / Not Inspected**DESCRIPTION****Y****N****N/A****See Note No:**

1. Is the surface free of major cracking other than normal shrinkage cracks?

X

2. Is the surface free of abnormal deterioration?

3. Does the walkway slope away from the house?

Note: Only the walkways adjacent to the house are inspected. (Do not include street-side sidewalks.)

Comments:

**RETAINING WALLS****A-04**☐ Concrete☐ Stone☐ Other \_\_\_\_\_☐ Brick☐ Poured Concrete☒ None / Not Inspected**DESCRIPTION****Y****N****N/A****See Note No:**

1. Is the wall free of significant cracks?

2. Is the wall free of visible settlement?

3. Does the wall have weep holes?

Note: Only those retaining walls that have a direct affect on the condition of the building are inspected. The inspection of retaining walls is general in nature and only those items above are reported. Future settlement and condition of walls are not warranted nor implied. Sea/lake/or other water-body walls are not included in this inspection.

Comments:



**SOFFIT / FASCIA / EAVES**

**B-01**

<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Vinyl	<input type="checkbox"/> Other _____		
DESCRIPTION	Y	N	N/A	See Note No:
1. Are soffits in good overall condition?	X			
2. Are eaves, rakes, and fascia boards in good overall condition?	X			
3. Are soffits, fascia and eaves free of need of repair or repainting?	X			
Comments:				

**GUTTERS & DOWNSPOUTS**

**B-02**

<input checked="" type="checkbox"/> Aluminum	<input type="checkbox"/> Vinyl	<input type="checkbox"/> None / Not Inspected		
DESCRIPTION	Y	N	N/A	See Note No:
1. Are gutters clear of debris?		X		B-02
2. Are gutters in good overall condition?	X			
3. Do downspouts direct water away from the foundation?	X			
Comments:				

**WINDOWS - EXTERIOR**

**B-03**

<input type="checkbox"/> Metal	<input checked="" type="checkbox"/> Wood	<input type="checkbox"/> Vinyl		
<input type="checkbox"/> Insulated Glass System	<input checked="" type="checkbox"/> Storm Window System			
<input type="checkbox"/> Awnings	<input type="checkbox"/> Jalousie	<input type="checkbox"/> Other _____		
DESCRIPTION	Y	N	N/A	See Note No:
1. Are windows free of broken glass?	X			
2. Are screens present at all windows (where necessary)?	X			
3. Are the frames in satisfactory condition?		X		B-03
4. Is caulking in satisfactory condition?		X		B-03
5. If windows project from house siding, is flashing visible?			X	
Comments:				

STEPS, PORCHES, AND DECKS

B-04

<input checked="" type="checkbox"/> Covered Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Railings
<input type="checkbox"/> Patio	<input type="checkbox"/> Steps	<input type="checkbox"/> None / Not Inspected

DESCRIPTION	Y	N	N/A	See Note No:
<b>STEPS &amp; RAILINGS</b>				
<u>Step Material</u> <input type="checkbox"/> Concrete <input checked="" type="checkbox"/> Masonry <input type="checkbox"/> Wood				
<u>Railing Material</u> <input checked="" type="checkbox"/> Wood <input type="checkbox"/> Metal <input type="checkbox"/> Vinyl				
1. Are steps free of visible rot/deterioration?	X			
2. Are steps railings free of visible rot/deterioration?	X			
3. Are step risers and treads uniform in size and within specification?	X			
4. Are stair railings provided for steps with 4 or more risers?	X			
5. Are guard rails provided at heights of 30 inches?	X			
6. If stair or guard railings exist, do they appear firm?	X			
7. Are step landings provided at exterior door entrances?	X			
8. Are railing balusters spaced no greater than 4" apart?	X			
<b>COVERED PORCH</b>				
<u>Location</u> <input type="checkbox"/> Rear <input type="checkbox"/> Right Side <input type="checkbox"/> Left Side <input checked="" type="checkbox"/> Front				
<u>Floor</u> <input type="checkbox"/> Concrete <input type="checkbox"/> Wood <input type="checkbox"/> Tile				
<u>Ceiling</u> <input type="checkbox"/> Drywall <input type="checkbox"/> Metal <input type="checkbox"/> Wood <input type="checkbox"/> Vinyl				
<u>Structure Type</u> <input type="checkbox"/> Metal <input checked="" type="checkbox"/> Wood <input type="checkbox"/> Screened				
9. Is the porch free of visible signs of settlement?	X			
10. Is the floor surface free of visible rot and/or deterioration?	X			
11. If supported by posts, do they appear to be in good condition?	X			
12. If screened, is screen mesh in good condition?			X	
13. If screened and elevated, are means provided to prevent falling through screen?			X	
14. Is ceiling in satisfactory condition?	X			
<b>DECK / PATIO / UNCOVERED PORCH</b>				
<u>Surface</u> <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry <input type="checkbox"/> Wood <input type="checkbox"/> Tile				
15. Is the surface free of visible deterioration/damage?	X			
16. Are floor joists/beams free of visible rot/deterioration?	X			
17. Do support posts appear structurally sound and free of rot?	X			
Comments: Some mortar deterioration at front steps.				

## Inspection Checklist

## EXTERIOR WALLS

B-05

<input checked="" type="checkbox"/>	Brick Veneer	<input type="checkbox"/>	Vinyl Siding	<input type="checkbox"/>	Masonry
<input type="checkbox"/>	Wood Siding	<input type="checkbox"/>	Wood Shingle	<input type="checkbox"/>	Stucco (EIFS is not inspected)
<input type="checkbox"/>	Asbestos Siding	<input type="checkbox"/>	Hardboard Siding	<input type="checkbox"/>	Stone
<input type="checkbox"/>	Aluminum Siding	<input type="checkbox"/>	Artificial Stone	<input type="checkbox"/>	Other: _____

DESCRIPTION	Y	N	N/A	See Note No:
<b>SIDING / WOOD TRIM</b>				
1. If wood siding, is it $\geq 6"$ above grade?				
2. If vinyl siding, is it free of buckles, warps, and loose sections?				
3. Overall, does the siding/trim appear to be in good condition?				
4. Does the siding/trim appear to be free of rot?				
5. Is substrate fully covered by the siding?				
Observations are made of exterior wood siding and trim to try and assess the extent of damage (if any) from wood decay. It is not within the scope of the inspection to detect all damage which would require extensive, and time prohibitive probing. Therefore, sampling by probing is employed at various random areas/locations, at visually suspicious areas of wood, and in areas where probability is higher for damage. The inspection does not guarantee that other areas of damage may exist undiscovered.				
<b>BRICK / BLOCK / STONE</b>				
6. Is the surface free of major cracks (hairline cracks excluded)?	X			See below
7. Are weep holes provided for water drainage?		X		
8. Is the surface free of abnormal damage?	X			B-05
9. Does the mortar appear to be in satisfactory condition?	X			
<b>STUCCO (non-EIFS)</b>				
10. Is the surface free of major cracks (hairline cracks excluded)?				
11. Is the surface free of abnormal damage?				
12. Does the stucco appear to be firm?				
Note: Inspection of EIFS (a wall finishing system with the appearance of stucco) is not covered by this inspection. A specialist in EIFS is highly recommended if this siding system exists.				
Shrinkage cracks in masonry joints and stucco surfaces are common and often arise from normal shrinkage and/or minor settlement (all structures settle to some degree). However, a differential settlement crack or other structural cracks often begin, in their appearance, as a shrinkage crack and then change over the course of time (short or long period of time). The cracks may widen, increase, etc. This inspection is not an engineering analysis and does not attempt to identify the cause of any crack noted. Additionally, stucco thickness is not determined.				
Comments: 5' long crack along mortar joint at left front corner. 1/16" wide. Also, at left side near front corner, a small crack that runs along mortar joint for 3'.				

## Inspection Checklist

## ROOF - EXTERIOR

B-06

## PRIMARY STRUCTURE

<b><u>Visibility:</u></b>	<input checked="" type="checkbox"/> Unlimited	<input type="checkbox"/> Limited by Snow	<input type="checkbox"/> Other:
<b><u>Inspected From:</u></b>	<input checked="" type="checkbox"/> On Roof	<input type="checkbox"/> Ground with binoculars	<input type="checkbox"/> Ladder at eaves
	<input type="checkbox"/> Not Inspected		
<b><u>Style:</u></b>	<input checked="" type="checkbox"/> Gable	<input type="checkbox"/> Hip	<input type="checkbox"/> Flat
			<input type="checkbox"/> Gambrel
			<input type="checkbox"/> Mansard
<b><u>Roof Material:</u></b>	<input checked="" type="checkbox"/> Asphalt Shingle	<input type="checkbox"/> Metal	<input type="checkbox"/> Cedar
	<input type="checkbox"/> Roll Roofing		<input type="checkbox"/> Tile
			<input type="checkbox"/> Other: _____
<b><u>Estimated Layers</u></b>	<input checked="" type="checkbox"/> One	<input type="checkbox"/> Two	<input type="checkbox"/> Three or more

DESCRIPTION	Y	N	N/A	See Note No:
1. Roof is free of missing shingles?	X			
2. Roof is free of missing shingle tabs?		X		See below
3. Roof is free of curled shingles?				
4. Roof is free of cracked shingles?	X			
5. Roof is free of evidence of nail popping?		X		See below
6. Felt is not exposed?	X			
7. Do shingles adequately overlap roof eaves and rakes?	X			
8. Are roof penetrations (chimneys, pipes, etc.) adequately flashed?	X			

<b>HOUSE EXTENSION</b>	<input type="checkbox"/> Present	<input type="checkbox"/> N/A
<b><u>Visibility:</u></b>	<input type="checkbox"/> Unlimited	<input type="checkbox"/> Limited by Snow
<b><u>Inspected From:</u></b>	<input type="checkbox"/> On Roof	<input type="checkbox"/> Ladder at eaves
		<input type="checkbox"/> Ground with binoculars
		<input type="checkbox"/> Not Inspected
<b><u>Roof Material:</u></b>	<input type="checkbox"/> Asphalt Shingle	<input type="checkbox"/> Metal
	<input type="checkbox"/> Roll Roofing	<input type="checkbox"/> Cedar
		<input type="checkbox"/> Tile
		<input type="checkbox"/> Other: _____
<b><u>Estimated Layers</u></b>	<input type="checkbox"/> One	<input type="checkbox"/> Two
		<input type="checkbox"/> Three or more

DESCRIPTION	Y	N	N/A	See Note No:
1. Roof is free of missing shingles?				
2. Roof is free of missing shingle tabs?				
3. Roof is free of curled shingles?				
4. Roof is free of cracked shingles?				
5. Roof is free of evidence of nail popping?				
6. Felt is not exposed?				
7. Do shingles adequately overlap roof eaves and rakes?				
8. Are roof penetrations (chimneys, pipes, etc.) adequately flashed?				

Comments: 2 shingle tabs were missing. Felt was not exposed. Large section of roofing at middle-rear of house was of a slightly different color shade. Area of roof sheathing near/under this section in the attic was discolored as well...see attic section of report.  
1 nail pop noted.

**DOORS - EXTERIOR**

**B-07**

<input checked="" type="checkbox"/> Wood	<input checked="" type="checkbox"/> Metal	<input type="checkbox"/> Other _____	
<input type="checkbox"/> French / Swinging	<input type="checkbox"/> Sliding	<input checked="" type="checkbox"/> Storm Door(s)	

DESCRIPTION	Y	N	N/A	See Note No:
1. Are doors in satisfactory condition?	X			
2. Are frames in satisfactory condition?		X		B-07
3. If doors have glass, is glass in satisfactory condition?	X			
4. Do doors have weather stripping?	X			See below
5. If doors have screens, are they free of damage?			X	
Comments: No weather stripping at garage door.				

**GARAGE / CARPORT**

**B-08**

<input type="checkbox"/> None / Not Inspected	<input checked="" type="checkbox"/> Attached / Enclosed	<input type="checkbox"/> Attached / Open	
<input type="checkbox"/> Detached / Open	<input type="checkbox"/> Detached / Enclosed	<input type="checkbox"/> Other _____	

DESCRIPTION	Y	N	N/A	See Note No:
<b>WALLS &amp; CEILING FINISHES</b>				
1. Are the walls in satisfactory condition?	X			
2. Is the ceiling in satisfactory condition?	X			See below
<b>FLOOR</b>				
3. If attached, is the floor of the garage lower than the house?	X			
4. Is there evidence of major cracks (thermal shrinkage cracks not reported)?	X			
<b>MISCELLANEOUS</b>				
5. Is the door from the garage to the house glass free (for fire protection)		X		
6. If a water heater exists, is the heat source $\geq$ 18" above the floor and is it protected from vehicle damage?			X	

**GARAGE DOOR**

<input type="checkbox"/> None / Not Inspected	<input checked="" type="checkbox"/> Aluminum	<input type="checkbox"/> Steel	
<input type="checkbox"/> Wood	<input type="checkbox"/> Fiberglass	<input type="checkbox"/> Other _____	

7. Are the garage door(s) in satisfactory condition?	X			
8. Does the door have weather stripping at the base of door?	X			
9. Does the door have an automatic opener and is it operational?	X			
10. Does the auto reverse (safety mechanism) work?	X			
Note: Pressure sensitive working action is not tested for operation as this may damage the door opener				
Comments: Ceiling appeared to have mildew stains.				



**ELECTRICAL - EXTERIOR**

**C-01**

**Service Entrance Amperage: 100**

- |  |   |   |   |
|--|---|---|---|
| <input checked="" type="checkbox"/> 3-Wire 240 V | <input checked="" type="checkbox"/> Circuit Breaker Panel | <input type="checkbox"/> Overhead Service               | <input type="checkbox"/> Exterior Outlets |
| <input type="checkbox"/> 2-Wire 120 V            | <input type="checkbox"/> Fused Panel                      | <input checked="" type="checkbox"/> Underground Service |   |

DESCRIPTION	Y	N	N/A	See Note No:
1. Is the service entrance panel in an accessible location ( <u>Rear of house near deck</u> )	X			
2. Is entrance conduit free of obvious damage?	X			
3. If service is overhead type, is there a drip loop?	X			
4. If service is overhead-type, is the drip loop $\geq$ 10 feet above grade?		X		C-01
5. If service is overhead type, does the mast appear stable?			X	
6. If service is overhead type, are wires free of obstructions?	X			
7. Do visible entrance wires appear undamaged?	X			
8. Is there a main disconnect switch at the service entrance?	X			
9. Is the grounding rod visible (often buried beneath rod or mulch)?	X			
10. Do breakers appear to be free of arc and burns?	X			
11. Are breaker door covers present?	X			
12. Are exterior light fixtures operational and appear to be in acceptable condition?	X			
13. Are exterior outlets operational & free of obvious damage?			X	
14. Do exterior outlets have weatherproof covers?			X	
Comments:				

**ELECTRICAL - INTERIOR**

**C-02**

**Distribution/Sub-Panel:**

- ☒ Circuit Breaker Panel
- ☐ Fused Panel
- ☐ No distribution panel beyond service entrance

**Branch Wiring Type**

- ☒ Copper
- ☐ Aluminum (solid)
- ☐ Aluminum (multi-strand)

DESCRIPTION	Y	N	N/A	See Note No:
1. Is the distribution panel in an accessible location: <u>Laundry Room</u>	X			
2. Is the distribution panel in satisfactory condition?	X			
3. Are breaker slot covers present?	X			
4. Are visible wirings for branch circuits proper and in good condition?	X			
5. Are wall switches operational and in good condition?	X			
6. Are receptacles grounded?		X		C-02
7. Do receptacles have proper polarity?		X		C-02
8. Are receptacles G.F.C.I protected where required?		X		C-02
9. Are ceiling fans operable?	X			
10. Are permanently mounted light fixtures operational?	X			
11. Are smoke detectors provided?	X			

**Note:** The inspection of electrical items is for testing of operation only using normal operating controls. It is not intended to be technically exhaustive and no dismantling of any system is performed. Adequacy of design is excluded from this report. Telephone, television, and computer wiring and outlets, security systems, smoke detectors, carbon monoxide detectors, central vacuum systems, intercoms, timing devices, and low voltage items are excluded. Receptacles, switches, and light fixtures are randomly checked. Ceiling fan and light fixture mountings are not inspected.

**SMOKE DETECTORS and CO Alarms:** Generally speaking and by today's standards, it is recommended that a smoke detector be located inside of each bedroom and one outside of bedrooms. On multi-level homes, they should be interconnected. The Buyer is strongly encouraged to check smoke detector locations and operation and can contact the local fire department for more information. Inspection of smoke detector locations and inter-connectivity are not included in this home inspection. Presence and operation of Carbon Monoxide alarms are not covered by this inspection, but they are recommended where gas and wood burning appliances and devices exist.

Comments:

**INTERIOR – DOORS & WINDOWS**

**D-01**

DESCRIPTION	Y	N	N/A	See Note No:
1. Do interior doors appear to be in good condition?	X			
2. Do interior windows appear to be in good condition?	X			
4. If windows are thermal pane (insulated), are they sealed?	X			
3. Do bedroom windows open (for emergency egress).	X			
4. Do bedroom windows meet standards for emergency egress (openings > 5.0 sq. ft)?		X		

Comments: Openable area of windows (bottom sash) was 31 x 18 inches; 3.875 square feet. All windows opened, but the small openings do not meet today's standards for emergency egress from bedrooms (may hinder escape in the event of a fire).

**INTERIOR – FLOORS, WALLS & CEILINGS**

**D-02**

Inspected	Note: Floors, walls, and ceilings are observed for visible structural conditions only. The inspection and this report do not represent conditions of floor finishes, wall finishes, ceiling finishes, and conditions of moldings & other trim.	Is room on the 2 <sup>nd</sup> floor level?	Is floor structure free of visible damage?		Are wall substrates free of visible damage?		Is ceiling structure free of visible damage?		Location Code:	See Note No:
			Y	N	Y	N	Y	N	R = Right L = Left  f = front r = rear c = center	
	Room Description								Location	
	Entrance Foyer									
X	Living Room		X		X		X			
X	Dining Room		X		X		X			
	Family Room									
X	Kitchen		X		X		X			
	Breakfast Area									4
X	Laundry Room		X		X		X			1
X	Garage		X		X		X			
	Office / Den									
	Game Room									
X	Hallway # 1		X							
	Hallway # 2									
	Hallway # 3									
	Hallway # 4									
X	Master / Bedroom # 1		X		X		X		Lr	2
X	Bedroom #2		X		X		X		Lc	
X	Bedroom #3		X		X		X		Lf	
	Bedroom #4									
	Bedroom #5									
X	Master / Bathroom # 1		X		X		X			3
X	Bathroom # 2		X		X		X			
	Bathroom # 3									
	Bathroom # 4									
	Stairwell # 1									

Comments: 1) Floor felt a little spongy....could not inspect underneath floor. 2) Minor crack in sheet rock above closet. No door provided for master bedroom (noticed doors in attic). 3) Ceiling shows signs of water stain at vent. Was unable to determine if an active leak existed. 4) Minor damage to blown ceiling at back porch/kitchen area.

## Inspection Checklist

**INTERIOR – BUILT-IN APPLIANCES****D-03**

Only “built-in” appliances are included in this report.

APPLIANCE		Operational		Approx. Age	Average Life Expectancy	Condition			See Note No:
		Yes	No			Good	Fair	Poor	
	Range (Stove / Oven Combo)				15 – 20 Years				
X	Oven(s)	X			15 – 20 Years	X			
X	Stove Top	X			15 – 20 Years	X			
X	Range Exhaust Hood <input checked="" type="checkbox"/> Recirculating <input type="checkbox"/> Exhaust to Ext.	X			10 – 15 Years	X			
X	Dishwasher	X			7 – 10 Years	X			
	Garbage Disposal				7 – 10 Years				
	Microwave (built-in)				10 – 12 Years				
	Trash Compactor				5 – 10 Years				
	Other: _____								
	Other: _____								
	Other: _____								

Note: Appliances are checked for basic operation only by using their normal operating control devices. Excluded from the inspection are self-clearing modes of ranges, clocks and timers, dishwasher soap dispensers, microwave oven leakage, and non-built-in appliances such as clothes washers and dryers, refrigerators, freezers, etc. Water softeners and water filtering systems are not included in this inspection and should be serviced by a specialist before use. If age of appliances is indicated, this information was provided by the current home owner. Otherwise, the buyer is encouraged to obtain the age of appliances from the seller.

Other appliance average life expectancies: Refrigerator 15 yrs. Washer 5 -10 yrs. Dryer 12 -15 yrs.

**STRUCTURAL – INTERIOR WALLS**

**F-01**

<input checked="" type="checkbox"/> Wood Frame	<input type="checkbox"/> Concrete Block	<input type="checkbox"/> Other: _____		
DESCRIPTION	Y	N	N/A	See Note No:
1. Are interior walls free of unusual bows?	X			
2. Are interior walls free of separation cracks where they intersect the ceiling?	X			
3. Are interior walls plumb?	X			
4. Do doorway openings appear to be plumb and level?	X			
Note: This inspection does not include disassembly of any item or portion of building nor performing any procedure which may damage the property.				
Comments:				

**STRUCTURAL – FIREPLACE**

**F-02**

<input type="checkbox"/> Masonry	<input type="checkbox"/> Metal	<input type="checkbox"/> Wood burning stove		
<input type="checkbox"/> Gas logs	<input type="checkbox"/> Other: _____	<input checked="" type="checkbox"/> None		
DESCRIPTION	Y	N	N/A	See Note No:
1. Does fireplace have adequate clearance from combustible material?				
2. Does hearth sit on non-combustible material?				
3. Is firebox free of cracks?				
4. Is damper provided and operational?				
5. Is flue in good condition?				
6. If gas logs are provided, is a shut-off valve provided? (_____)				
Note: Wood burning stoves and fireplace inserts by design have internal chambers, flues, dampers, etc. These devices are not examined to determine whether they need to be cleaned or whether they are adequate or safe for use. It is recommended that they buyer obtain the operator's manual and/or have these devices examined by a qualified professional. Gas logs are not checked for leaks, venting, or flame operation.				
Comments:				